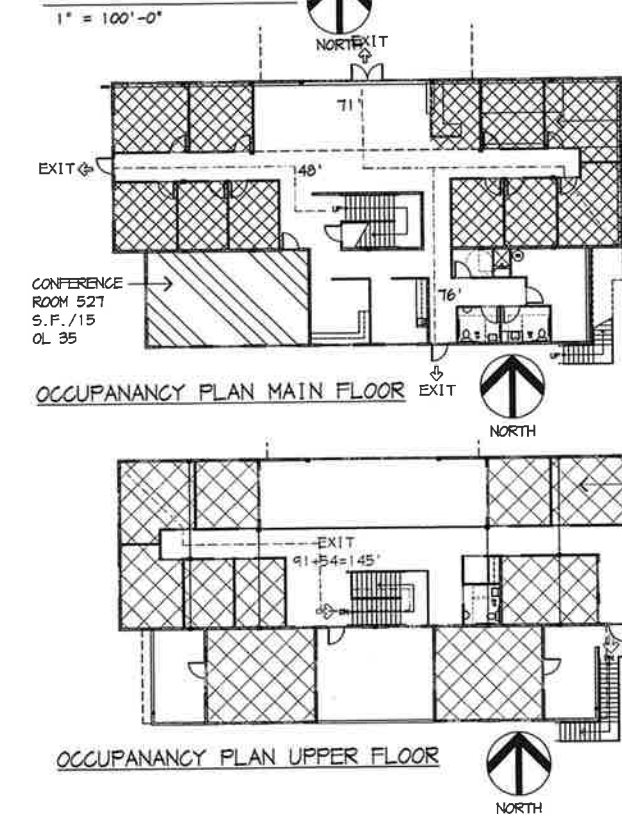


**SITE PLAN**



**PLUMBING FIXTURE ANALYSIS**

WATERCLOSETS	OCCUPANCY	OCC. LOAD	WOMEN	MEN
TI	11	36/25 = 1.44	36/25 = 1.44	
TOTALS	TI	1 REQUIRED	1 REQUIRED	

**LAVATORIES**

TI	36/40 = 0.90	36/40 = 0.90
TI	1 REQUIRED	1 REQUIRED

**OCCUPANCY**

OFFICE AREAS	(MAIN FLOOR): (1,627/100) + (527/15) = 51	UPPER FLOOR: 2,017/100 = 20	TOTAL OCCUPANTS: 71
EGRESS:			

STAIR WIDTH: 71 X 3 = 21" (MIN 32" REQUIRED)

EGRESS WIDTH (MAIN FLOOR 51 + UPPER FLOOR 20) .2 = 14" (MIN 32" REQUIRED)

MAIN FLOOR: 144' EXIT WIDTH PROVIDED

UPPER FLOOR: 36' EXIT WIDTH PROVIDED

PER TABLE 1017.2:

EXIST TRAVEL DISTANCE: 200'

B NOT SPRINKLERED

**SITE PLAN NOTES**

1. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWG A1.2
2. PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
3. NEW CURB CUT FOR ADA PARKING (TYP) DET. 5 DWG A1.2.
4. NEW LANDSCAPE AREA TO BE CLEARED & FREE OF WEEDS. PRUNE & FERTILIZE ALL EXISTING PLANTINGS. INSTALL NEW 2" MIN. LAYER BARK MULCH ALL PLANTING AREAS. THATCH AND FERTILIZE ALL GRASS AREAS (TYP) SEE L1.1 FOR LANDSCAPING.
5. ACCESSIBLE PARKING SIGN PER DET. 2 DWG A1.2
6. WHEEL STOP. DET. 4 DWG A1.2
7. PAINTED HANDICAP PARKING STRIPING. 1'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
8. CONCERTE SIDE WALK. DET. 3 DWG A1.2
9. NEW CURB DET. 7 DWG A1.2
10. NEW ASPHALT PAVING. DET. 6 DWG A1.2
11. FIRE LANE
12. EXISTING BUILDING TO REMAIN
13. PARTIAL REMOVAL OF EXISTING FENCE. SEE L1.1 FOR FURTHER DETAIL
14. NEW FENCE. DET. 9 DWG A1.2 SEE L1.1 FOR FURTHER DETAIL
15. NEW FENCE AND GATE. DET. 9 DWG A1.2. SEE L1.1 FOR FURTHER DETAIL
16. EXISTING TRASH AREA
17. PARKING LOT LIGHT SEE DWG L1.1 FOR DETAILS
18. PEDESTRIAN STRIPING. 1'-0" X 5'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
19. CURB CUT PER DET. 14 DWG A1.2
20. CONCRETE SIDEWALK PER CIVIL DRAWINGS. DET. 8 DWG A1.2
21. CURB CUT PER DET. 13 DWG A1.2
22. PEDESTRIAN LIGHT SEE DWG L1.1 FOR DETAILS
23. 3' HIGH MIN LANDSCAPING MOUND
24. BIKE RACK. 7-Bike Saddleback Bike Rack - 62" L - 2-3/8" OD galvanized Pipe - Surface Base Plate Mount. Provided by Bicycle Rack Source (800) 291-7442.

**PROJECT CRITERIA**

**SCOPE OF WORK**

NEW TWO STORY OFFICE BUILDING.

TAX ACCOUNT NO. 31051500200800, 31051500200700

SECTION 15 TOWNSHIP 31 RANGE 05 QUARTER NW PAR B

PER CITY ARL BLA PROJ FILE NO PLN-468 REG AFN

201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

**LEGAL DESCRIPTION**

Section 15 Township 31 Range 5 Quarter NW PAR A

PER CITY ARL BLA PROJ FILE NO PLN-468 REG AFN

201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

**CODES**

2015 INTERNATIONAL BUILDING CODE (IBC)

2015 INTERNATIONAL MECHANICAL CODE (IMC)

2015 INTERNATIONAL FIRE CODE (IFC)

2015 UNIFORM PLUMBING CODE (UPC)

**BUILDING CRITERIA**

ZONING: 61

PERMISSIBLE USES: 4.120 (TABLE: 20.72-1)

MAX. HEIGHT: 50 F

OCCUPANCY: B

CONSTRUCTION TYPE: VB

FIRE SPRINKLER: NO

FIRE ALARM: NO

PROPERTY SIZE: 4.88 + 8.98

TOTAL: 13.86 ACERS

**PARKING CALCULATIONS**

REQUIRED PARKING:

PERMISSIBLE USE:

TABLE 20.40-1 Use: 4.120

TABLE: 20.72.1

1 SPACE PER 400 SQUARE FEET OF G.F.A.

**OFFICE:**

MAIN FLOOR: 4,451 G.F.A.

UPPER FLOOR: 2,970 G.F.A.

TOTAL: 7,421 G.F.A.

1 PER 400 SF GROSS FLOOR AREA

(7,421 G.F.A.) / 400 = 19 STALLS

TOTAL REQUIRED: 19 STALLS

PARKING PROVIDED: 42 STALLS

**PARKING LOT LANDSCAPE CALCULATIONS**

TOTAL PARKING LOT AREA: 17,715

S.F.

LANDSCAPING REQ'D. (10% OF PARKING AREA) = 1,772

S.F.

LANDSCAPING PROVIDED:

10,365 S.F.

PER TABLE 1106.1.

1 ACCESSIBLE PARKING SPACES ARE REQUIRED

**DRAWING INDEX**

**CIVIL**

C1.0 DEMO & SHPPP PLAN

C2.0 SENER & WATER PLAN

C3.0 STORM DRAINAGE PLAN

C3.1 DRAINAGE PROFILES & DETAILS

C4.0 PAVING PLAN

C4.1 STANDARD NOTES

C4.2 CITY DETAILS

**ARCHITECTURE**

A1.1 SITE PLAN

A1.2 SITE DETAILS

L1.1 LANDSCAPE PLAN

A2.1 FLOOR PLANS

A2.2 REFLECTED CEILING PLANS

A3.1 ELEVATIONS

A4.1 BUILDING SECTIONS

A5.1 DOOR, WINDOW AND FINISH SCHEDULES

A5.2 INTERIOR ELEVATIONS, CABINETS AND FIXTURE HEIGHTS

A5.3 DETAILS

**STRUCTURAL**

S1.0 - GENERAL STRUCTURAL NOTES

S1.1 - GENERAL STRUCTURAL NOTES

S1.2 - GENERAL STRUCTURAL NOTES

S2.0 - FOUNDATION PLAN

S2.1 - UPPER FLOOR FRAMING PLAN

S2.2 - ROOF FRAMING PLAN

S3.0 - FOUNDATION DETAILS

S4.0 - MOOD DETAILS

S4.1 - MOOD DETAILS

S4.2 - MOOD DETAILS

S4.3 - MOOD DETAILS

S5.0 - STEEL DETAILS

S6.0 - MOOD/STEEL DETAILS

**UTILITY DISTRICTS**

POWER: PUD

WATER: ARLINGTON WATER

SEWER: DEPARTMENT

TELEPHONE: CITY OF ARLINGTON

**SEPARATE SUBMITTALS**

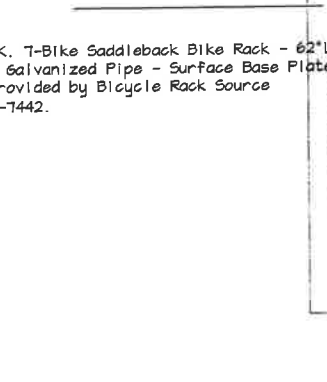
ELECTRICAL

MECHANICAL

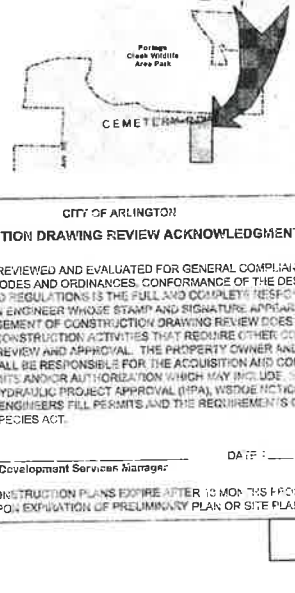
PLUMBING

SIGNS

**VICINITY MAP**



**SITE**



**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT**

THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATION WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDMV HYDRAULIC PROJECT APPROVAL (HPA), WSDMV NOTICE OF INTENT (NOI), ARMY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE (NOI), ENDANGERED SPECIES ACT.

BY: Deva Heaton, PE, Development Services Manager

DATE: 9-24-2021

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 12 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAN OR SITE PLAN APPROVAL.

**CITY OF ARLINGTON**

**APPROVED**

**9-24-2021**

**PLANNING DIVISION**

**RECEE CONSTRUCTION**

**5802 Cemetery Road**

**Arlington, Washington**

**Site Plan (Office Building)**

**Drawing: A1.1**

**Job Number: 20c-4254**

**PLN-866**

**For: PERMIT**

**Date: 24 JANUARY 21**

**26 MAY 21**

**15 JULY 21**

**16 AUGUST 21**

**05 SEPTEMBER 21**

**REVISION 1**

**DESIGN REVIEW**

**DESIGN REVIEW**

**DESIGN REVIEW**

**DESIGN REVIEW**

**DESIGN REVIEW**

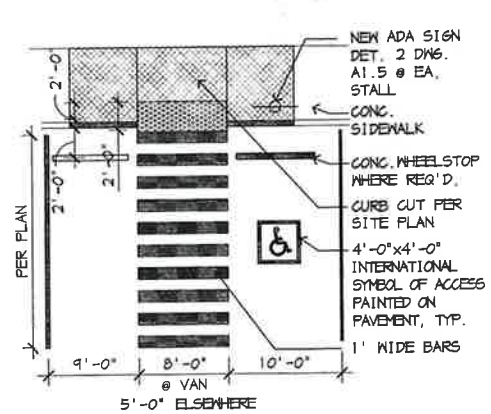
**2812 Colby Avenue**

**Everett WA 98201**

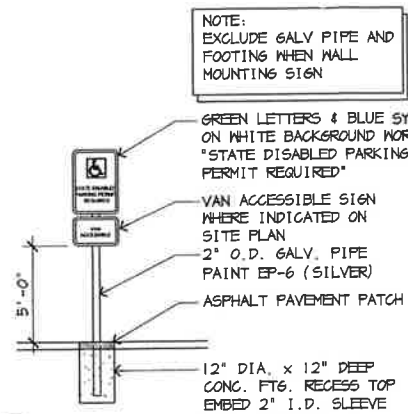
**(425) 282-2153 p**

**www.2812architecture.com**

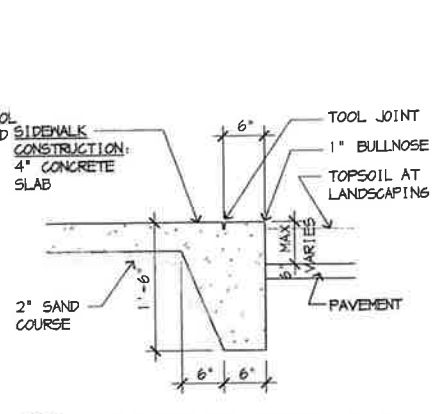




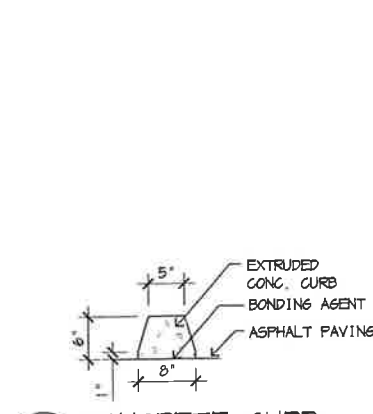
1 ADA PARKING STALL  
NO SCALE



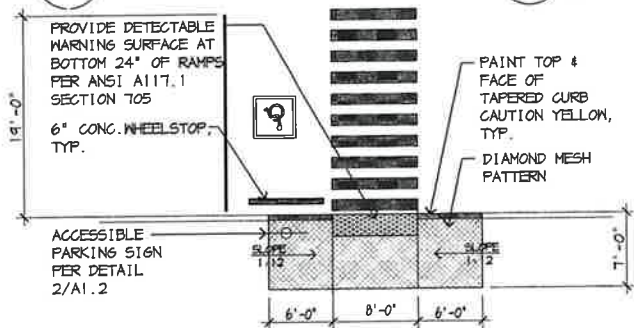
2 ACCESSIBLE SIGN  
NO SCALE



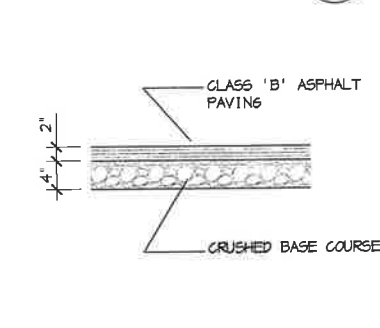
3 CONCRETE SIDEWALK  
NO SCALE



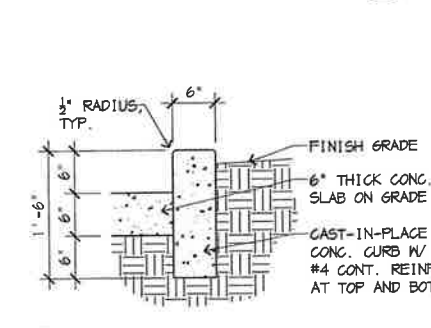
4 CONCRETE CURB  
1" = 1'-0"



5 CURB CUT DETAIL (TYP)  
1/8" = 1'-0"



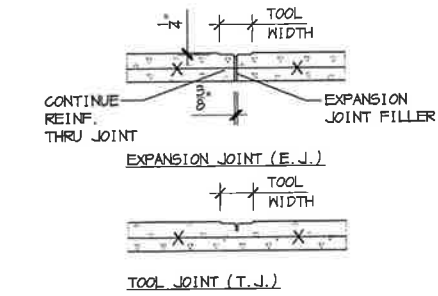
6 ASPHALT PAVING  
NO SCALE



7 6" CONCRETE CURB  
1" = 1'-0"



15 WALKWAY LIGHT  
1" = 1'-0"



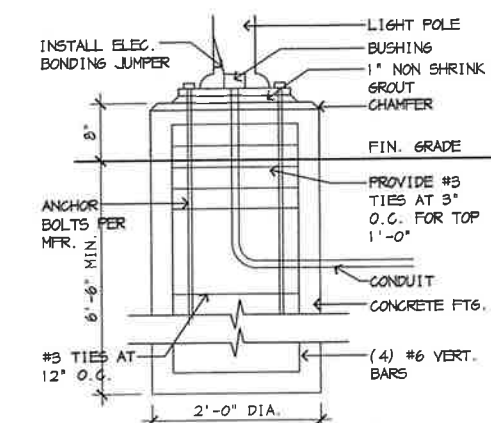
\*\* PROVIDE EXPANSION JOINTS AT 14'-0" O.C. MAX AND TOOL JOINTS AT 6'-0" O.C. MAX. COORDINATE LAYOUT WITH ARCHITECT.

8 SIDEWALK JOINTS  
1/2" = 1'-0"

	POST PER FRAMEWORK OR GATE SCHED.		6'-0"	END, CORNER FULL POSTS	2.375" 3.65	
	FIN. GRADE CONC. FTG.		6'-0"	LINE POSTS 8'-0" O.C. MAX.	2.375" 3.65	
	GATE SCHEDULE					
FENCE HGT.	A	B	CONC. FTG.	LEAF WIDTH	COMPONENT	DIA. MT./FT.
				6'-0"	GATE POSTS	2.875" 5.79
				6'-0"	GATE FRAMES	2.375" 3.65

9 CHAIN LINK FENCE  
NO SCALE

NOTE PER CITY COMMENT: 03 SEPTEMBER 2021: Black vinyl chain link is required along the frontage for any new or replaced fencing. Galvanized chain link is allowed throughout the interior of the site.



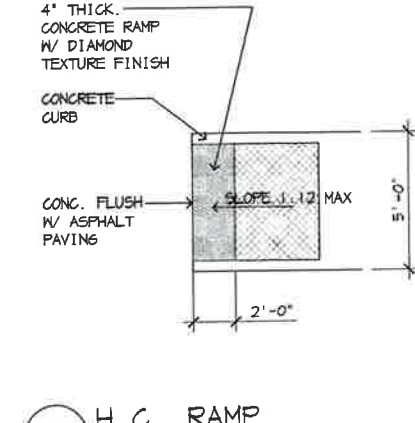
10 LIGHT POLE BASE  
1" = 1'-0"



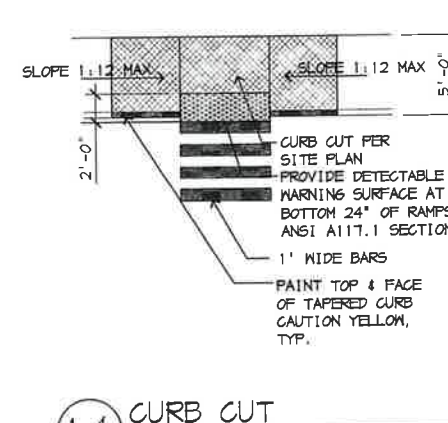
11 LIGHT POLE HEADS  
1" = 1'-0"



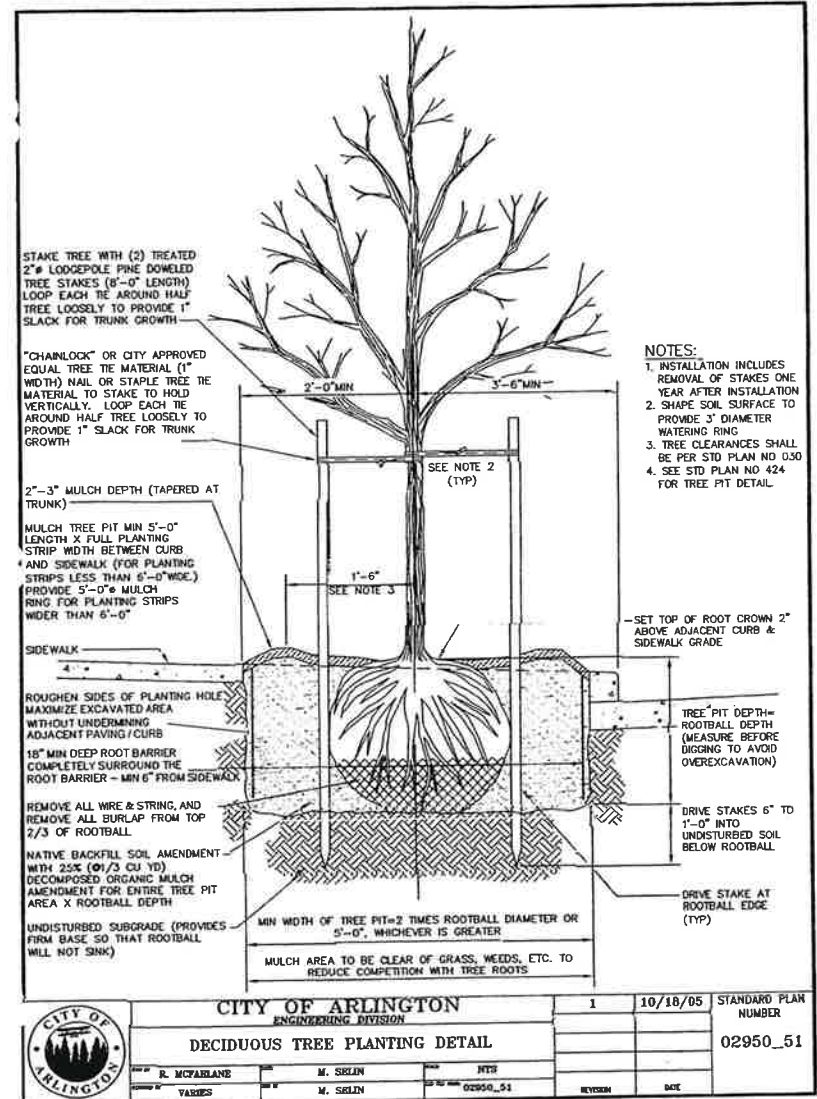
12 WALL PACK  
1" = 1'-0"



13 H.C. RAMP  
1/4" = 1'-0"



14 CURB CUT  
1/2" = 1'-0"



CITY OF ARLINGTON		1	10/18/05	STANDARD PLAN NUMBER
DECIDUOUS TREE PLANTING DETAIL				02950_51
R. MC FARLANE	M. SERLIN	DATE	DATE	
VARIES	M. SERLIN	02950_51	REVISION	DATE



CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL  
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.  
BY: Nova Heaton, PE, Development Services Manager  
DATE: THIS APPROVAL IS VALID FOR 18 MONTHS

For:	FOR PERMIT
Date:	24 JANUARY 21
	28 MAY 21
	15 JULY 21
	19 AUGUST 21
	09 SEPTEMBER 21
	DESIGN REVIEW
	DESIGN REVIEW
	DESIGN REVIEW

2812 Colby Avenue  
Everett WA 98201  
(425) 252-2153 p  
www.2812architect.com

2017

A New Operations Building for:  
**REECE CONSTRUCTION**  
5802 Cemetery Road  
Arlington, Washington  
Drawing: **A1.2**  
Job Number: 20c-4254  
PLN-866



SITE PLAN NOTES

1. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWS A1.2
2. PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
3. NEW CURB CUT FOR ADA PARKING. (TYP) DET. 5 DWS A1.2
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9. NEW CURB DET 7 DWS A1.2
10. NEW ASPHALT PAVING. DET 6 DWS A1.2
11. FIRE LANE
12. EXISTING BUILDING TO REMAIN
13. PARTIAL REMOVAL OF EXISTING FENCE. SEE L1.1 FOR FURTHER DETAIL
14. NEW FENCE. DET 9 DWS A1.2 SEE L1.1 FOR FURTHER DETAIL
15. NEW FENCE AND GATE. DET 9 DWS A1.2. SEE L1.1 FOR FURTHER DETAIL
16. EXISTING TRASH AREA
17. PARKING LOT LIGHT SEE DWS L1.1 FOR DETAILS
18. PEDESTRIAN STRIPING. 1'-0" x 5'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
19. CURB CUT PER DETAIL 14 DWS A1.2
20. CONCRETE SIDEWALK PER CIVIL DRAWINGS. DET. 8 DWS A1.2
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22. PEDESTRIAN LIGHT SEE DWS L1.1 FOR DETAILS
23. 3' HIGH MIN LANDSCAPING MOUND
24. BIKE RACK. 7-Bike Saddleback Bike Rack - 62"L - 2-3/8"OD Galvanized Pipe - Surface Base Plate Mount. Provided by Bicycle Rack Source (800) 281-7442

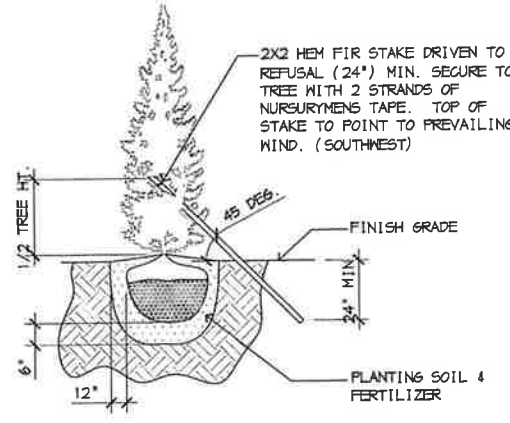
PER 20.76.130 SHADE TREES IN PARKING AREA

1. 2,874 S.F. \* .20 = 575 S.F. OF SHADE 673 S.F. PROVIDED.
2. 1,198 S.F. \* .20 = 239 S.F. OF SHADE 276 S.F. PROVIDED.
3. 1,881 S.F. \* .20 = 376 S.F. OF SHADE 403 S.F. PROVIDED.
4. 2,038 S.F. \* .20 = 407 S.F. OF SHADE 468 S.F. PROVIDED.
5. 328 S.F. \* .20 = 67 S.F. OF SHADE 80 S.F. PROVIDED.
6. 171 S.F. \* .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED.

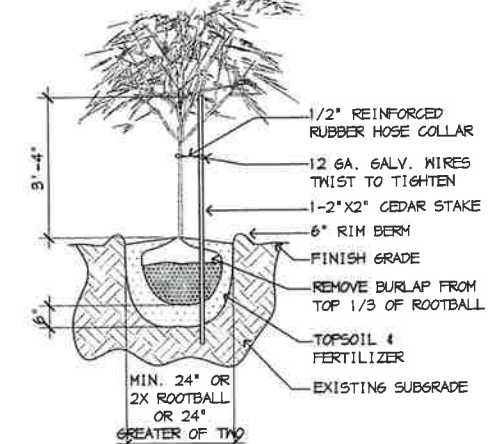
NOTE: SEE TREE DETAIL ROOT BARRIER FOR THE TREES PLANTED NEXT TO THE ROW OF CEMETERY ROAD.

PLANTING SCHEDULE

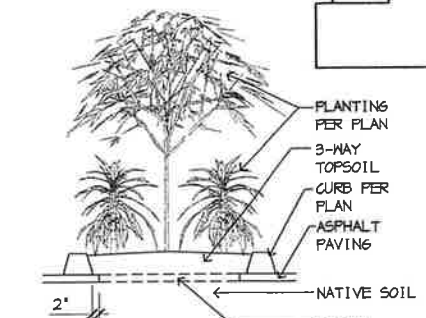
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
	90	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	MIN 6' TALL AT PLANTING
	24	RHODODENDRON SCHLIPPENBACHII	ROYAL AZALIA	2 GAL.	24" TALL
	56	PRUNUS LAUROCEAGUS	OTTO LUYKEN	2 GAL.	24" TALL
	85	RHODODENDRON CALIFORNICUM	NATIVE RHODODENDRON	2 GAL.	24" TALL MIXED VARIETY
	AS REQ'D	ARCTOSTAPHYLOS UVA-URSI	KINKINNICK	4" POTS	24" O.C.
	AS REQ'D	GRASS	LAWN		



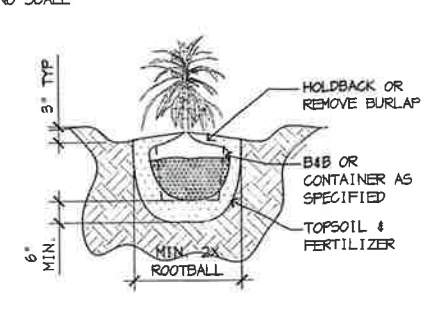
EVERGREEN TREE PLANTING  
NO SCALE



DECIDUOUS TREE PLANTING  
NO SCALE



PLANTER DETAIL



SHRUB PLANTING  
NO SCALE

LANDSCAPE PLAN

1" = 25'-0"



2018 WSEC LIGHTING ALLOWANCES

PARKING LOT	TOTAL PARKING AREA = 13,760 FT <sup>2</sup> AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 13,760 FT <sup>2</sup> X 0.06 MATTS/S.F. = 821 TOTAL ALLOWED MATTS 7 P-Lot LIGHTS @ 100M EA = TOTAL MATTS = 500 MATTS
BUILDING WALKWAYS < 10' WIDE	TOTAL 5' WIDE WALK LIN. FT = 175 S.F. WALKWAY LIN. FT X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 175 S.F. X 5 MATTS/S.F. = 875 MATTS ALLOWED AT 5' WALKWAYS. TOTAL AT WALKWAYS 80 MATTS (20M LED) 4 WALKWAY LIGHTS = 80 MATTS

LIGHT LEGEND

	PARKING LOT LIGHTING (100M) LED SHOE BOX FIXTURE 25' POLE W/18" DIA 24" HIGH CONC. BASE DET 10 & 11 DWS A1.2
	WALKWAY PEDESTRIAN LIGHTING @ 75 M EACH (20M) LED WATT EQUIVALENT 10' POLE. DET 15 DWS A1.2



LANDSCAPE NOTES

1. Backfill mix for planting trees, shrubs and ground cover shall be: One part by volume of 3-way topsoil mixed with one part native soil.
2. Planter areas to receive 3-way topsoil.
3. All trees, shrubs and groundcover shall be fertilized with Agro 4-2-2 transplanter or equal at planting time.
4. After planting of all plants, mulch all areas with a minimum of 2" of medium fine bark mulch.
5. Owner to approve planting prior to installation.
6. Plant types may be substituted due to availability with similar species and varieties.
7. Landscaping contractor responsible for maintenance during construction period.
8. All plants to be healthy at the time of planting and guaranteed for one full year or until the next spring (whichever is greater).
9. Remove existing weeds and grasses prior to planting landscape areas.
10. See drawing L1.1 for planting and landscaping details.
11. A sprinkler system is required for this project. Design and installation of the system will be the responsibility of the bidding contractor. General contractor to submit shop drawings to the architect prior to installation of the system.

CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Nova Heaton, PE, Development Services Manager  
DATE: THIS APPROVAL IS VALID FOR 18 MONTHS

PLN-866

Drawing: L1.1

20c-4254

Date:	For:
24 JANUARY 21	FOR PERMIT
28 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION
03 SEPTEMBER 21	DESIGN REVIEW REVISION

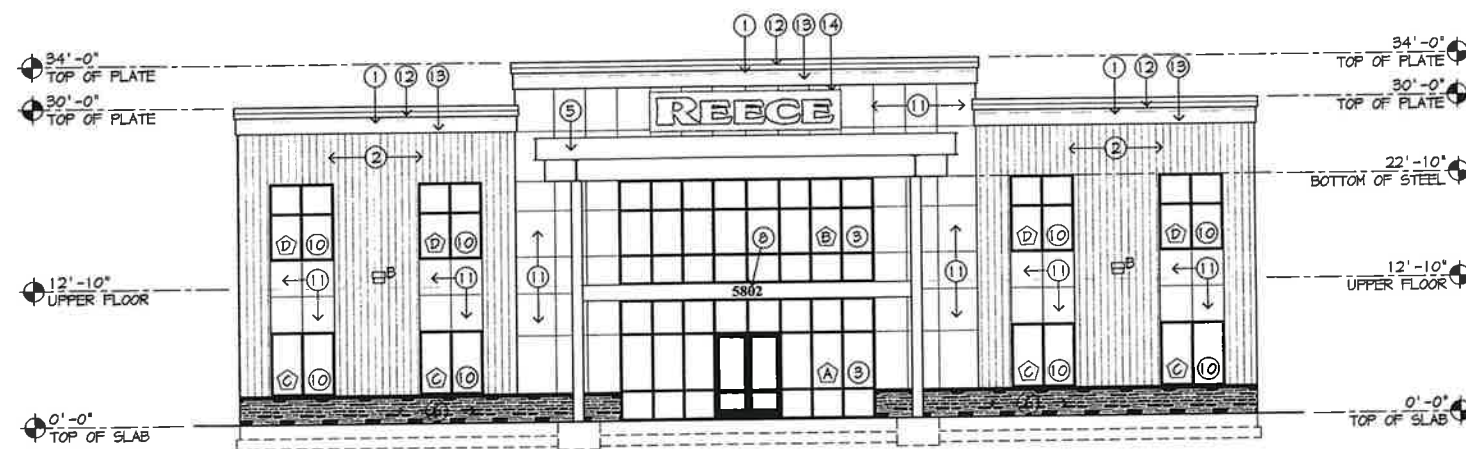
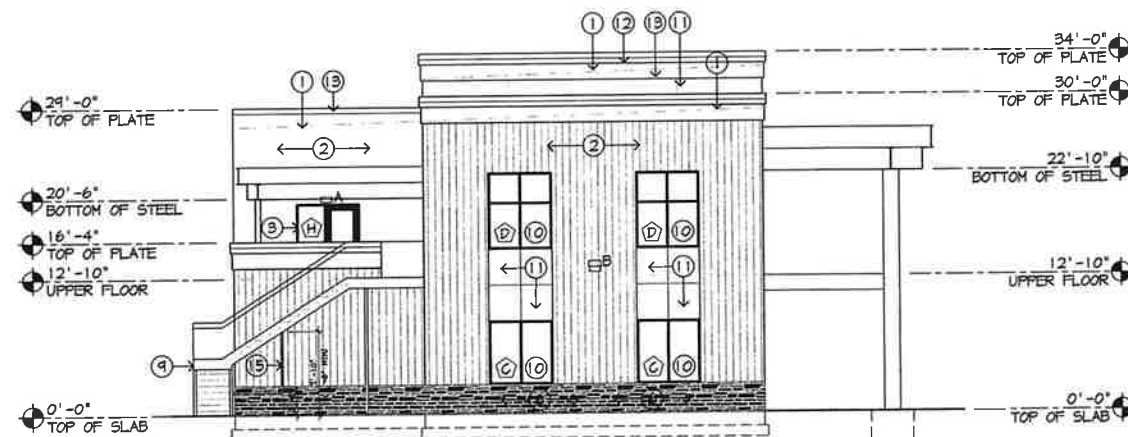
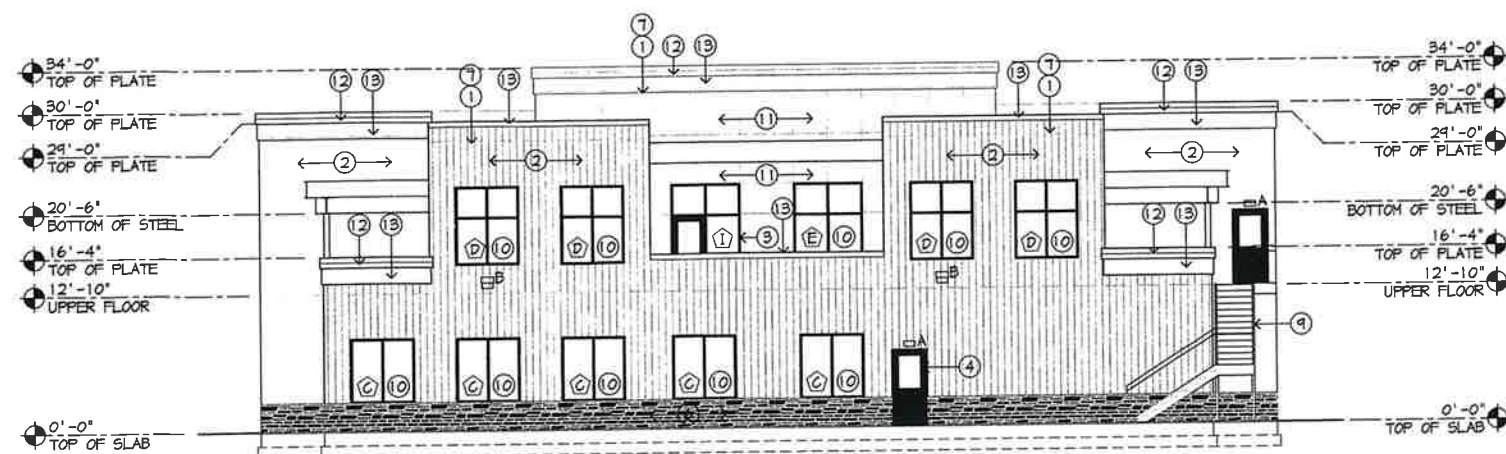
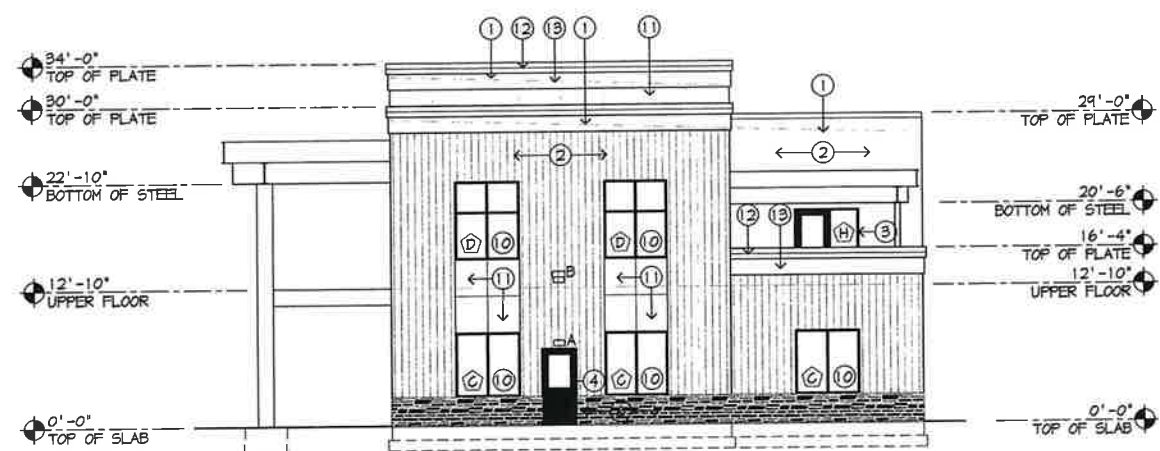
2017  
ARCHITECTURE

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A New Operations Building for:  
**REECE CONSTRUCTION**  
5802 Cemetery Road  
Arlington, Washington

SITE DETAILS & LANDSCAPE PLAN (OFFICE BUILDING)





## ELEVATION NOTES

1. TPO ROOF ON FRAMING: OVER R-30 RIGID INSULATION.
2. METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL TO MATCH METAL SHOP BUILDING.
3. EXTERIOR WINDOWS: STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1. (U-VALUE < 0.30 AND SHGC < 0.40).
4. HOLLOW METAL STEEL DOORS AND FRAMES: 16 GA INSULATED METAL DOORS (DUAL GLAZED SAFETY GLASS WITH U-VALUE < .60 AND SHGC < 0.40).
5. MEMBRANE ROOF ON FRAMING @ ENTRANCE W/ 1" STEEL POSTS. - REFER TO ARCHITECTURAL DETAIL AND STRUCTURAL DRAWINGS FOR CONNECTIONS.
6. STONE VENEER BASE: PREMANUFACTURED STONE VENEER OVER MOISTURE BARRIER ON 1/2" EXTERIOR SHEATHING ON 2X6 @ 16" O.C..
7. PREFINISHED ROOF DRAINS AND DOWNSPOUTS: ROOFDRAINS AND PVC DOWN PIPES. TIGHTLINE TO STORM DRAINAGE SYSTEM PER CIVIL DRAWINGS. SEE ROOF PLAN ON DRAWING A2.5
8. ADDRESS LETTERING: PLACE 14" HIGH ADDRESS WITH RAISED METAL NUMBERS AND LETTERS ABOVE DOOR. NUMBERS SHALL CONTRAST WITH THE BACKGROUND SIDING.
9. STEEL STAIRS W/ CONCRETE TREADS: PREFABRICATED STEEL STAIRS PER MANUFACTURER. REFER TO STAIR SECTIONS SHEET A4.2.
10. VINYL WINDOWS: INSULATED VINYL WINDOWS (U-VALUE < 0.30 AND SHGC < 0.40)
11. FLAT METAL SIDING: 26 GAUGE PREFINISHED FLAT METAL PANELS.
- 12 & 13. METAL TRIM: PER MANUFACTURER
14. BUILDING SIGN: 18'-0" X 3'-9" REECE SIGN PER SEPARATE PERMIT.
15. REDUCED VERTICAL CLEARANCE: PROVIDE 2" T.S. RAILS BELOW STAIR TO CREATE BARRIER PER ICGI 307.4.

## 2018 WSEC LIGHTING ALLOWANCES

Table C405.5.3.(2)

BUILDING FACADES	TOTAL FACADE WALL AREA = 8520 S.F. FACADE WALL AREA X WSEC ALLOWED WATTS/S.F. = TOTAL ALLOWED WATTS. 8520 X .075 W/SF = 639 TOTAL ALLOWED WATTS ON BUILDING FACADES. TOTAL WATTAGE= 492 WATTS
LIGHT LEGEND	
A	WALL MOUNTED @ 75M EACH (20W) LED WATT EQUIVALENT (4) X 75M = 300 W
B	WALL PAC @ 100M EACH (32 W) LED WATT EQUIVALENT 6X32= 192 W

## ELEVATION LEGEND

- ⊙ ELEVATION NOTES
- ⊞ WINDOW PER SCHEDULE ON DWG. A5.1

## EXTERIOR COLORS

- C1 PAINT
- C2 PAINT
- C3 PAINT
- C4 PAINT
- C5 MANUFACTURERS STANDARD COLOR



CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

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BY: Nova Heaton, PE, Development Services Manager

DATE: THIS APPROVAL IS VALID FOR 18 MONTHS

PLN-866

A3.1

20c-4254

Date:	For:
29 JANUARY 21	FOR PERMIT
28 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION 1



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**REECE CONSTRUCTION**  
5802 Camellary Road  
Arlington, Washington

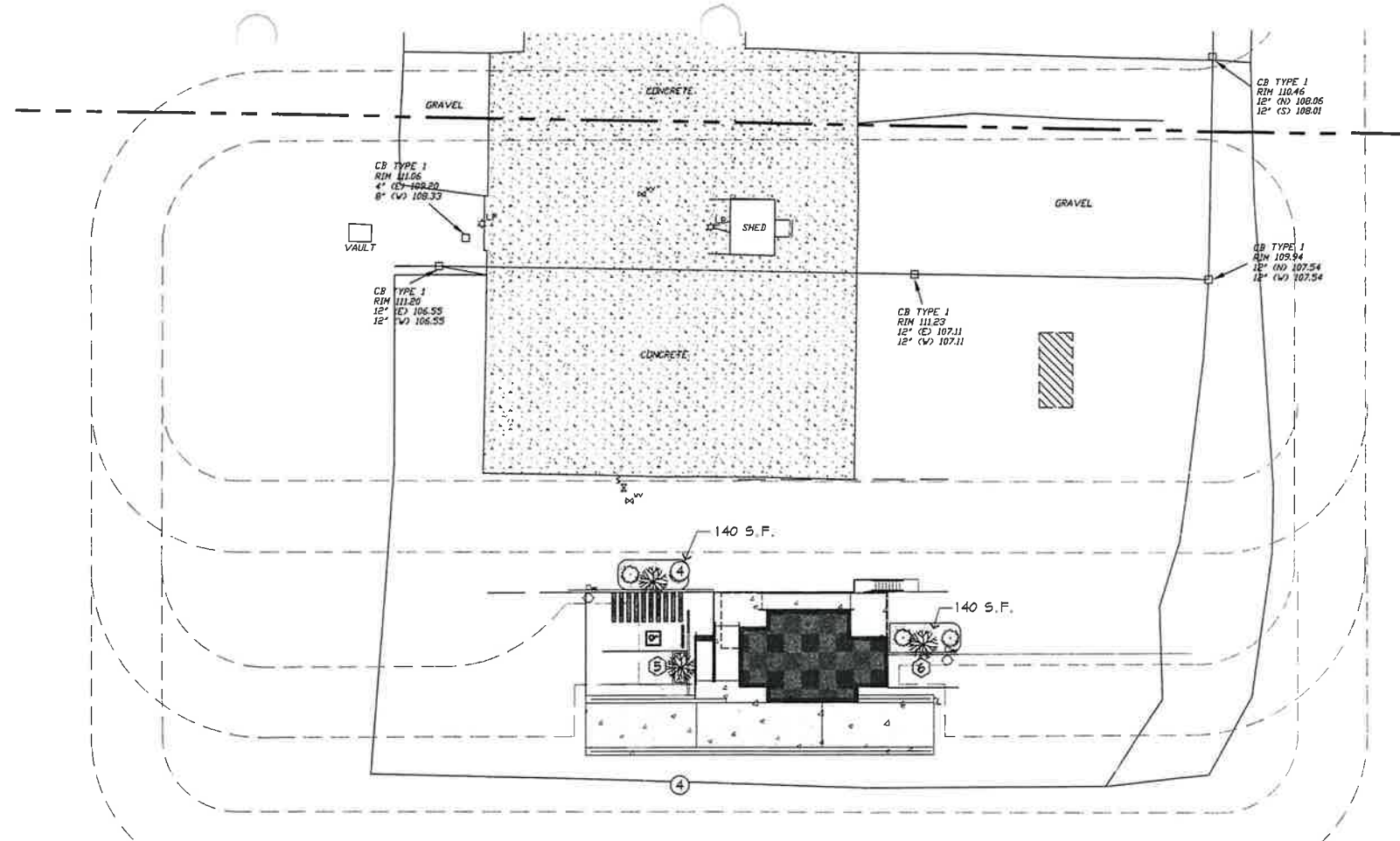
Drawing:

ELEVATIONS OFFICE BUILDING







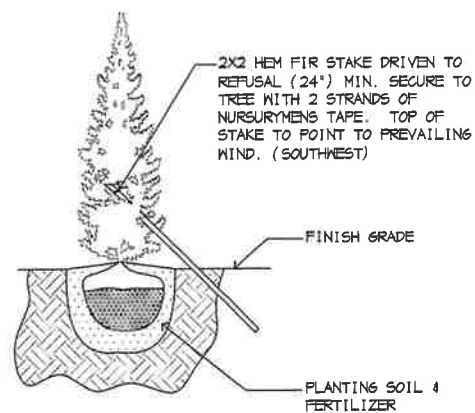


LANDSCAPE PLAN

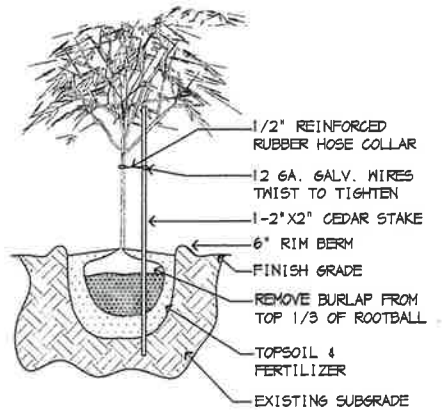
1" = 25'-0"



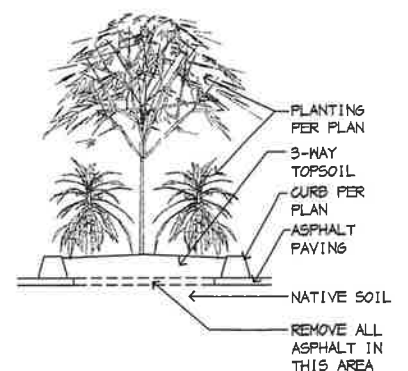
PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
	9	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	MIN 6' TALL AT PLANTING
	8	RHODODENDRON CALIFORNICUM	NATIVE RHODODENDRON	2 GAL.	24" TALL MIXED VARIETY
	AS REQ'D	ARCTOSTAPHYLOS UVA-URSI	KINKIDNIK	4" POTS	24" O.C.



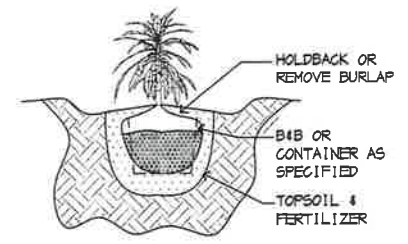
EVERGREEN TREE PLANTING  
NO SCALE



DECIDUOUS TREE PLANTING  
NO SCALE

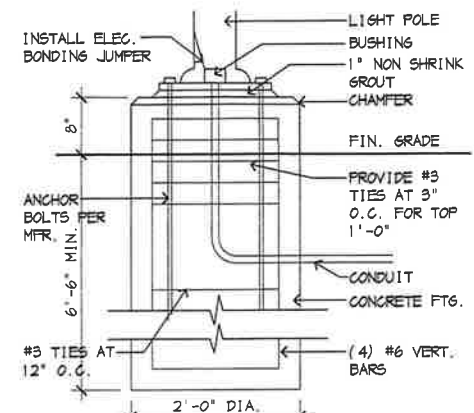


PLANTER DETAIL  
NO SCALE



SHRUB PLANTING  
NO SCALE

2018 WSEC LIGHTING ALLOWANCES	
Table C405.5.3.(2)	
PARKING LOT	TOTAL PARKING AREA = 15,760 FT <sup>2</sup> AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 1,181 FT <sup>2</sup> X 0.06 M/FT <sup>2</sup> = 71 TOTAL ALLOWED MATTS 2 P-LOT LIGHTS @ 100M EA = TOTAL MATTS = 200 MATTS
LIGHT LEGEND	
	PARKING LOT LIGHTING (100M) LED SHOE BOX FIXTURE 25\"/>



1 LIGHT POLE BASE  
1" = 1'-0"



2 LIGHT POLE HEADS  
1" = 1'-0"



3 WALL PACK  
1" = 1'-0"

LANDSCAPE NOTES

- Backfill mix for planting trees, shrubs and ground cover shall be: One part by volume of 3-way topsoil mixed with one part native soil.
- Planter areas to receive 3-way topsoil.
- All trees, shrubs and groundcover shall be fertilized with Agro 4-2-2 transplanter or equal at planting time.
- After planting of all plants, mulch all areas with a minimum of 2" of medium fine bark mulch.
- Owner to approve planting prior to installation.
- Plant types may be substituted due to availability with similar species and varieties.
- Landscaping contractor responsible for maintenance during construction period.
- All plants to be healthy at the time of planting and guaranteed for one full year or until the next spring (whichever is greater).
- Remove existing weeds and grasses prior to planting landscape areas.
- See drawing L1.1 for planting and landscaping details.

PER 20.76.130 SHADE TREES IN PARKING AREA

1	2,874 S.F. * .20 = 575 S.F. OF SHADE	678 S.F. PROVIDED.
2	1,198 S.F. * .20 = 239 S.F. OF SHADE	276 S.F. PROVIDED.
3	1,881 S.F. * .20 = 376 S.F. OF SHADE	403 S.F. PROVIDED.
4	2,098 S.F. * .20 = 407 S.F. OF SHADE	468 S.F. PROVIDED.
5	328 S.F. * .20 = 67 S.F. OF SHADE	80 S.F. PROVIDED.
6	171 S.F. * .20 = 34 S.F. OF SHADE	57 S.F. PROVIDED.



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5802 Camelot Road  
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Drawing:  
**L1.1**

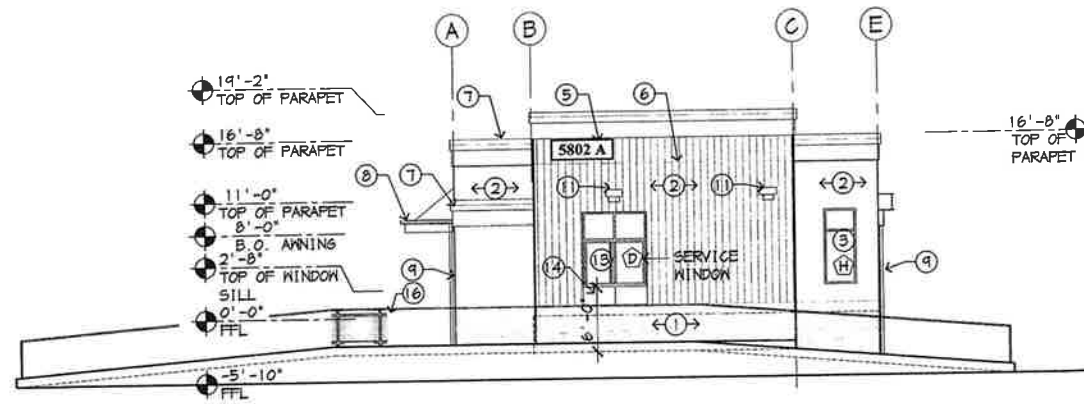
Job Number: PLN-866 20c-4254

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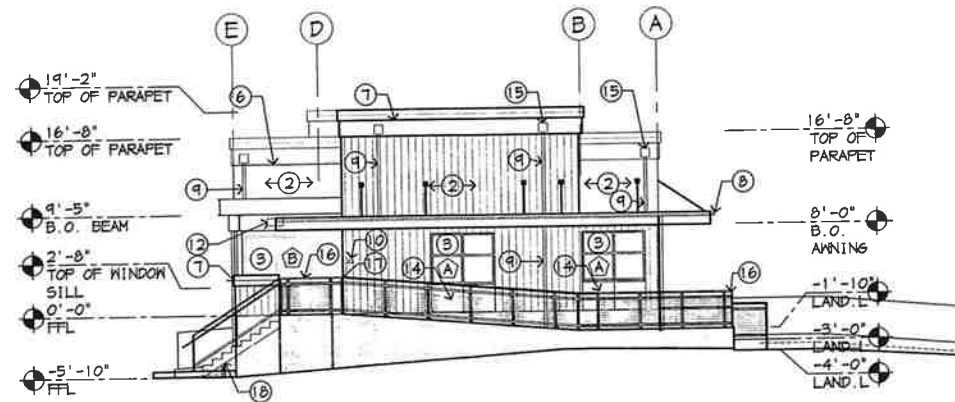
LANDSCAPE DETAILS & LANDSCAPE PLAN (SCALE HOUSE)





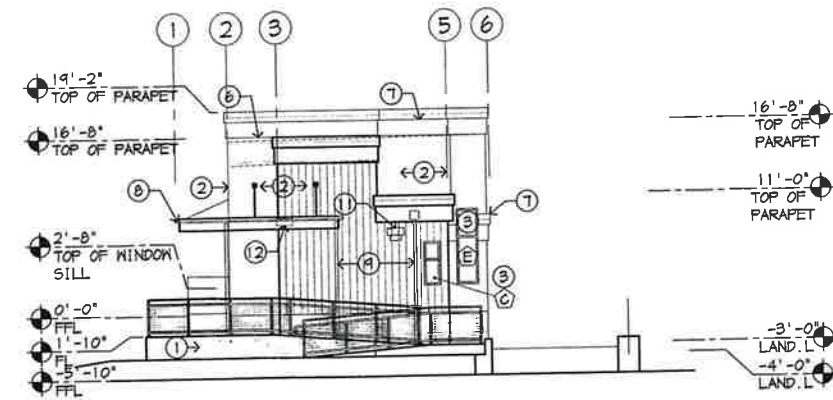
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



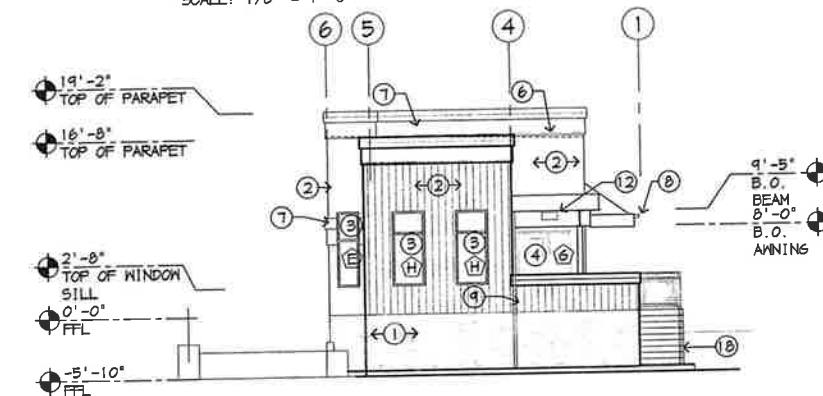
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**ELEVATION NOTES**

- STONE VENEER BASE: PREMANUFACTURED STONE VENEER PER MANUFACTURER INSTALLATION SPECIFICATIONS.
- METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL.
- VINYL FLANGE WINDOW: INSULATED VINYL FLANGE WINDOW W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1.
- STOREFRONT DOOR & FRAME: SEE DOOR SCHEDULE DWG. A5.1
- ADDRESS LETTERING: PLACE 14" HIGH ADDRESS WITH RAISED METAL NUMBERS AND LETTERS ABOVE DOOR. NUMBERS SHALL CONTRAST WITH THE BACKGROUND SIDING.
- TPO ROOF ON T.G.I. FRAMING - REFER TO ARCHITECTURAL BUILDING SECTIONS DWG A4.1 AND STRUCTURAL DRAWINGS FOR CONNECTIONS.
- PREFINISHED METAL FLASHING: SEE EXTERIOR COLOR LEGEND FOR DETAILS.
- PREFINISHED METAL GUTTER: SEE EXTERIOR COLOR LEGEND FOR DETAILS.
- SCHEDULE 40 PVC DOWNSPOUT: PAINT TO MATCH ADJACENT WALL.
- FIRE DEPARTMENT KEY BOX: WITH BUILDING ACCESS KEYS. CONTACT LOCAL FIRE DEPARTMENT TO OBTAIN.
- LIGHT FIXTURE: COORD. W/ ELECTRICAL.
- EMERGENCY AND MEANS OF EGRESS LIGHT FIXTURE. FIXTURE SHALL BE CONTROLLED BY LIGHT SENSOR SO THAT IT IS LIGHTED AT ALL NON-DAYLIGHT HOURS. PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES FOR THIS FIXTURE. ALSO, SEE REFLECTED CEILING PLAN DWG A2.1
- STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG A5.1.
- FLAT METAL SIDING: 26 GAUGE PREFINISHED FLAT METAL PANELS.
- METAL COLLECTOR BOX AT SCUPPER: DET 8 DWG A5.3
- GUARDRAIL: DET 16 DWG A5.3
- GUARDRAIL: DET 13 DWG A5.3
- STAIR DETAIL. DET 20 DWG A5.3

**EXTERIOR COLORS**

- PAINT
- PAINT
- PAINT
- PAINT
- MANUFACTURERS STANDARD COLOR

**ELEVATION LEGEND**

- ELEVATION NOTES
- WINDOW PER SCHEDULE ON DWG. A5.1

**2018 WSEC LIGHTING ALLOWANCES**

Table C405.5.3.(2)

BUILDING FACADES	TOTAL FACADE WALL AREA = 2201 S.F. FACADE WALL AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS. 2201 X .075 W/SF = 165 TOTAL ALLOWED MATTS ON BUILDING FACADES. TOTAL MATTAGE= 156 MATTS
BUILDING WALKWAYS < 10' WIDE	TOTAL 5' WIDEMALK LIN.FT =87 S.F. WALKWAY LIN.FT WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS. 108 S.F. X .5 W/LIN.FT = 54 MATTS ALLOWED AT 5' WALK WAYS. TOTAL AT WALK WAYS 54 MATTS

**LIGHT LEGEND**

A	WALL MOUNTED @ 75W EACH (20W) LED MATT EQUIVALENT (3) X 20W = 60 W
B	WALL PAC @ 100W EACH (32 W) LED MATT EQUIVALENT 2X32= 96 W SEE DETAIL 3 DRAWING L1.1

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EXTERIOR ELEVATIONS (SCALE HOUSE)

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